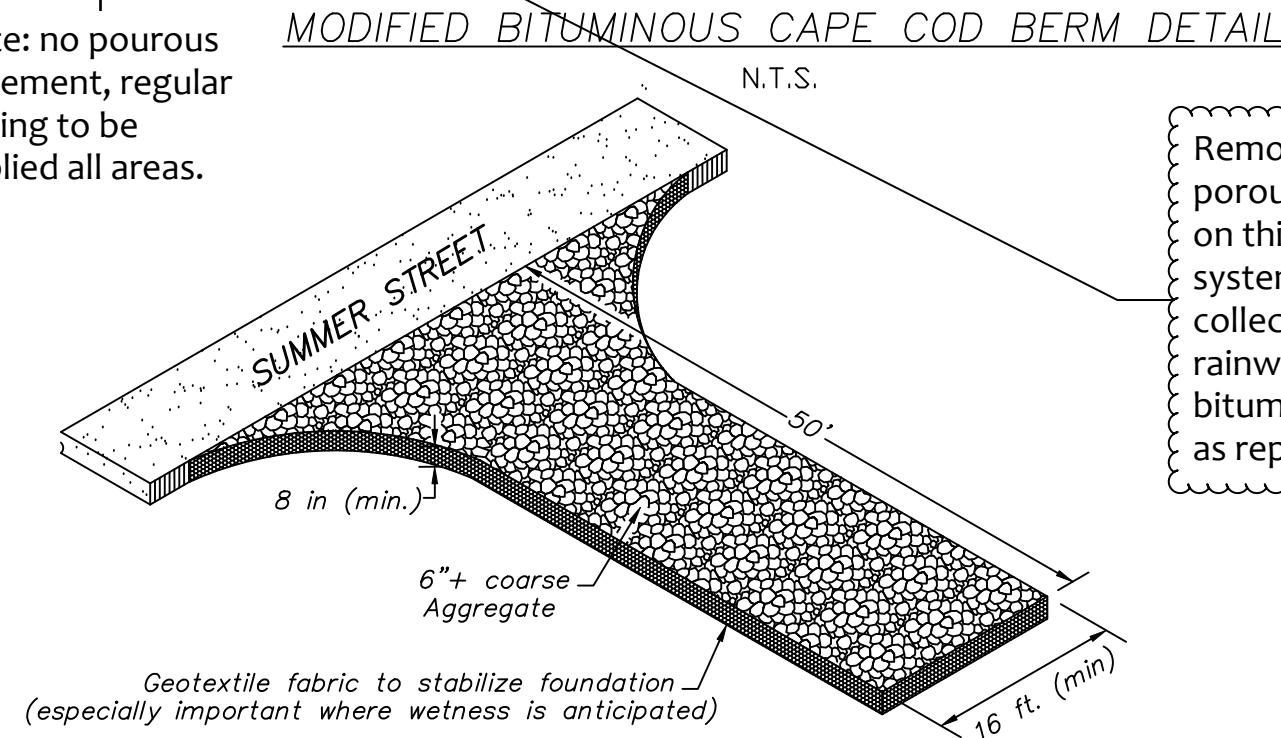
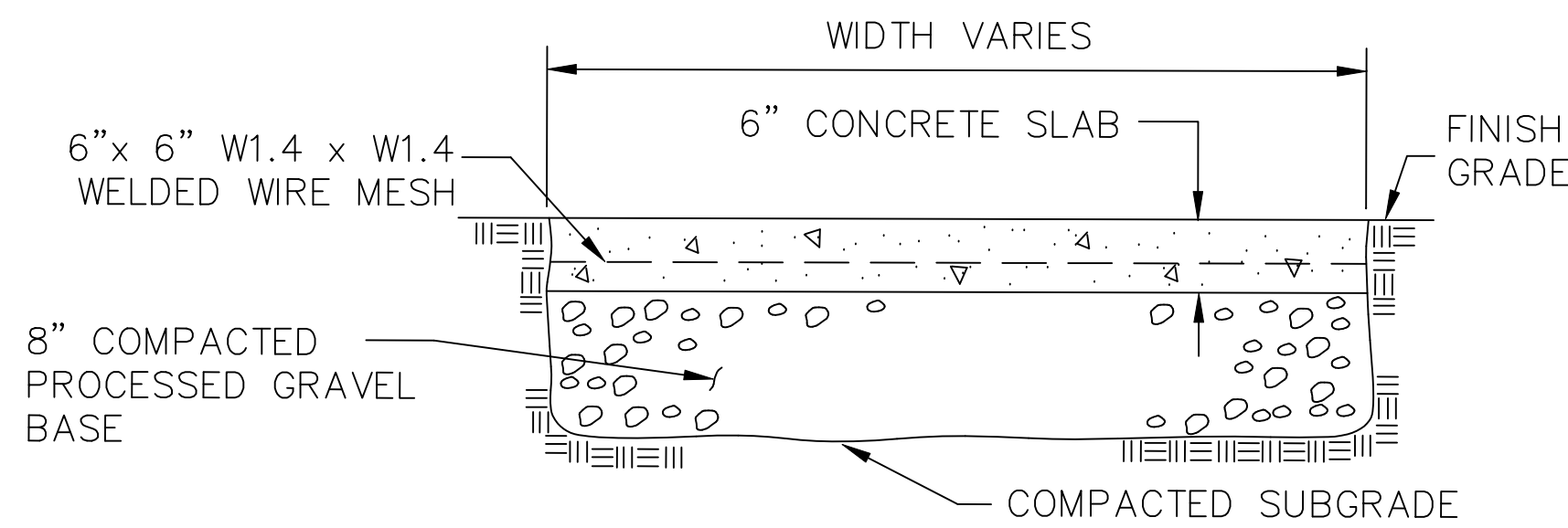


Note: no porous pavement, regular paving to be applied all areas.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PAD

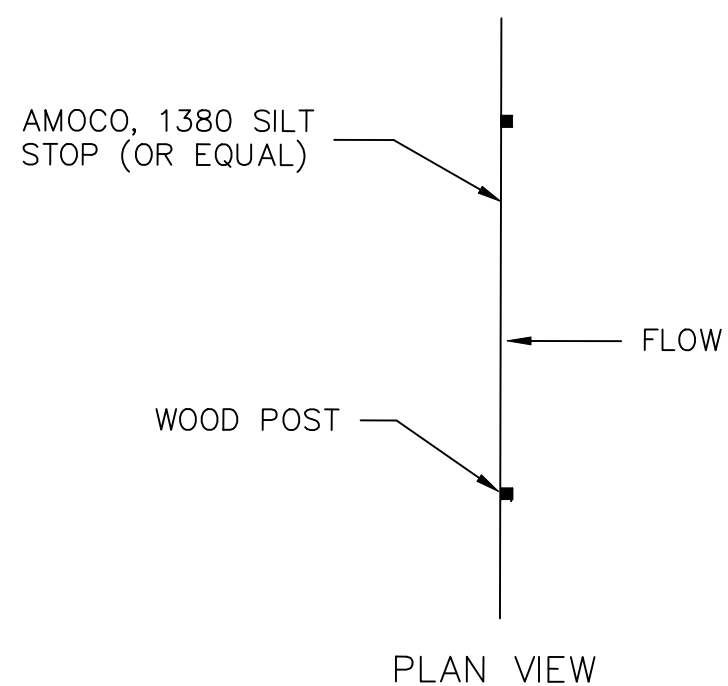
NOTE:
CONSTRUCT "TEMPORARY CONSTRUCTION ENTRANCE" AS SHOWN ON DETAIL PLAN PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITIES. ALL CONSTRUCTION VEHICLES SHALL EXIT THE SITE OVER THIS "TEMPORARY CONSTRUCTION ENTRANCE". THE CONTRACTOR SHALL USE THIS AREA TO REMOVE SOIL FROM THE TIRES OF CONSTRUCTION VEHICLES. "TEMPORARY CONSTRUCTION ENTRANCE" TO CONSIST OF SIX TO TWELVE INCHES OF TWO TO THREE INCH STONE.



CEMENT CONCRETE DUMPSTER PAD

NOT TO SCALE

TOP VIEW



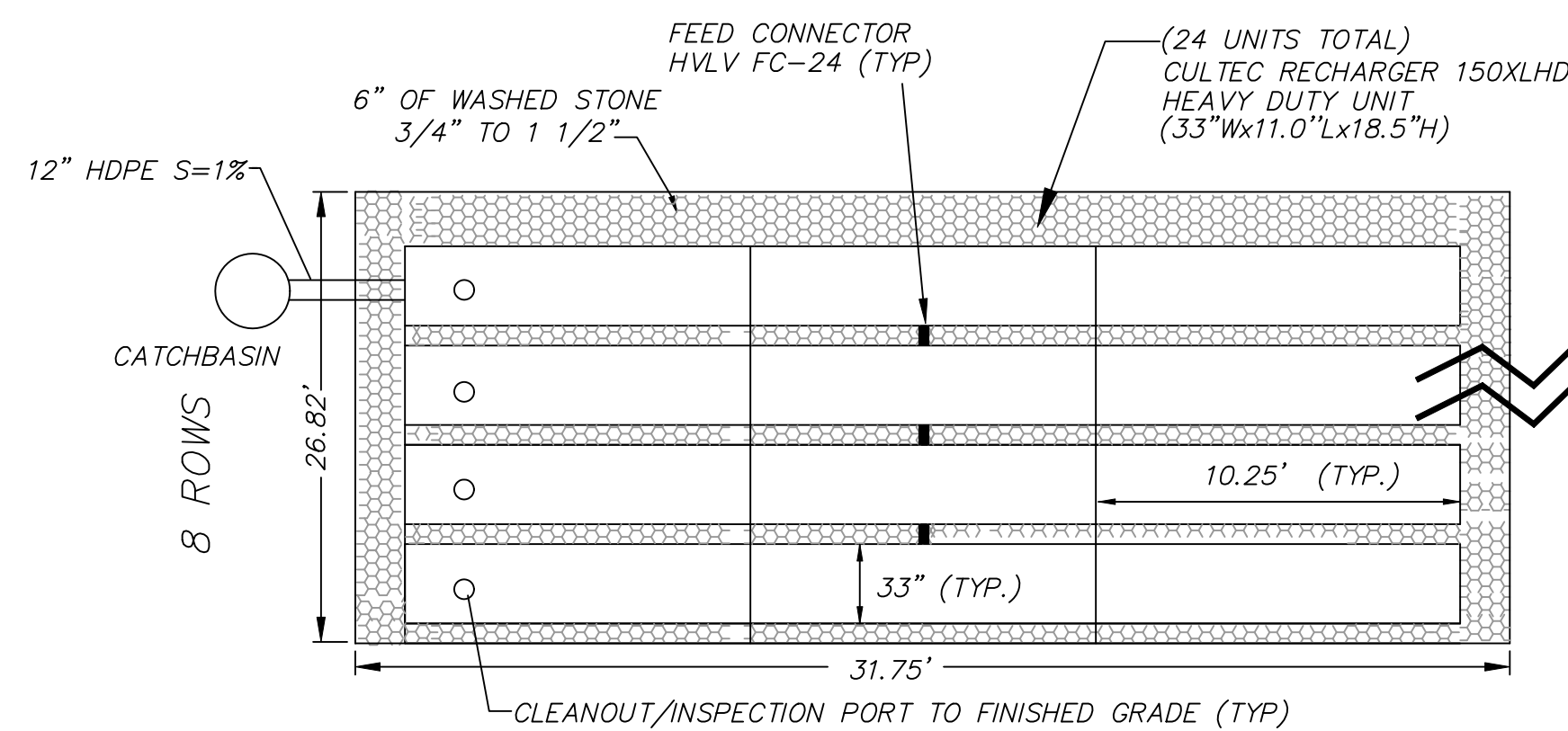
CROSS SECTION

EROSION CONTROL BARRIER

NOT TO SCALE

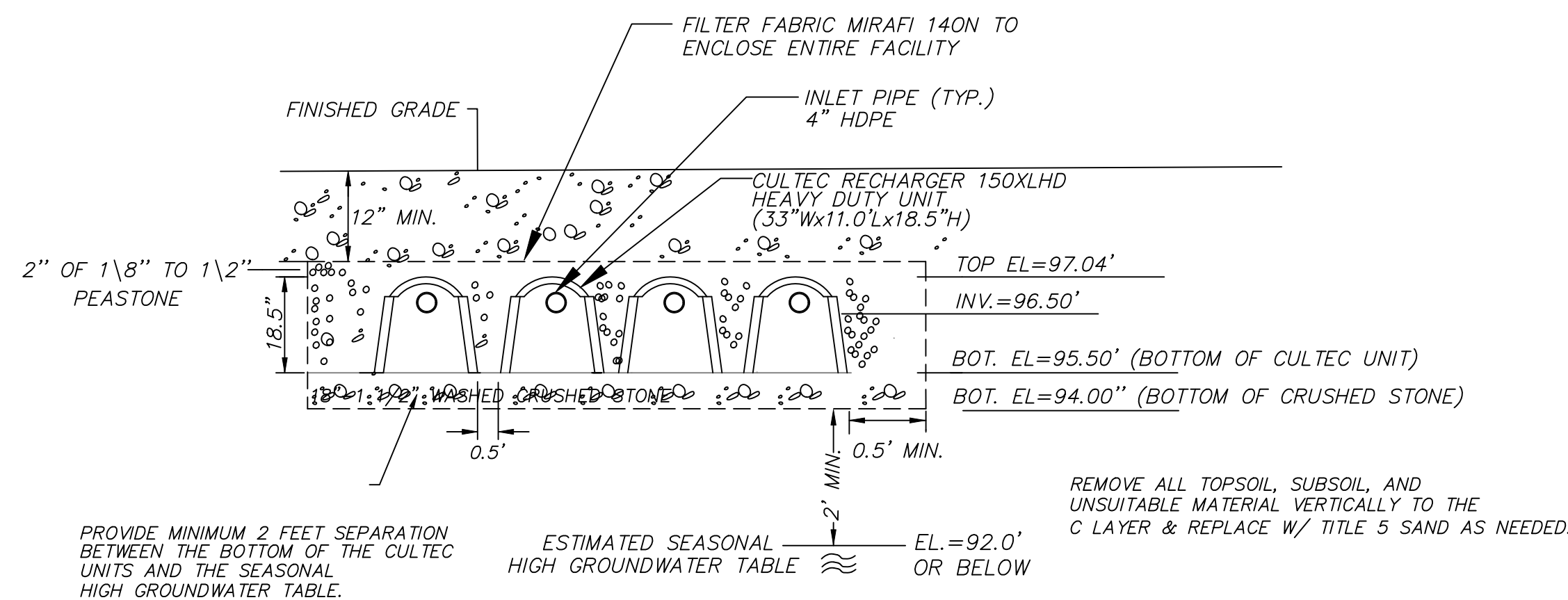
- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. STEEL REINFORCEMENT CONCRETE FILLED POLYETHYLENE
 3. AVAILABLE IN 5 COLORS: YELLOW, RED, BLUE, LIGHT & DARK GRANITE.

PRECAST BOLLARD



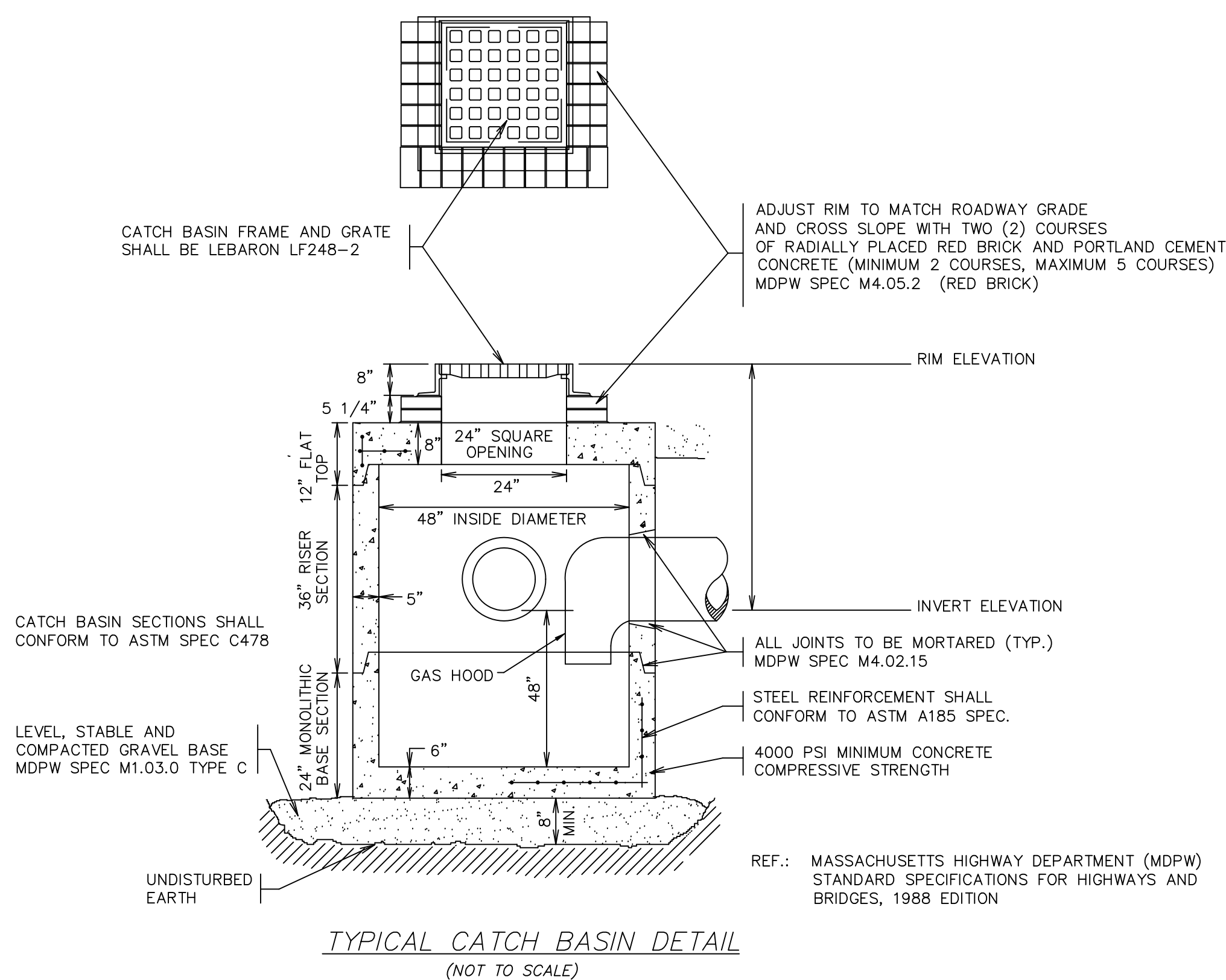
SUBSURFACE INFILTRATION SYSTEM

(NOT TO SCALE)



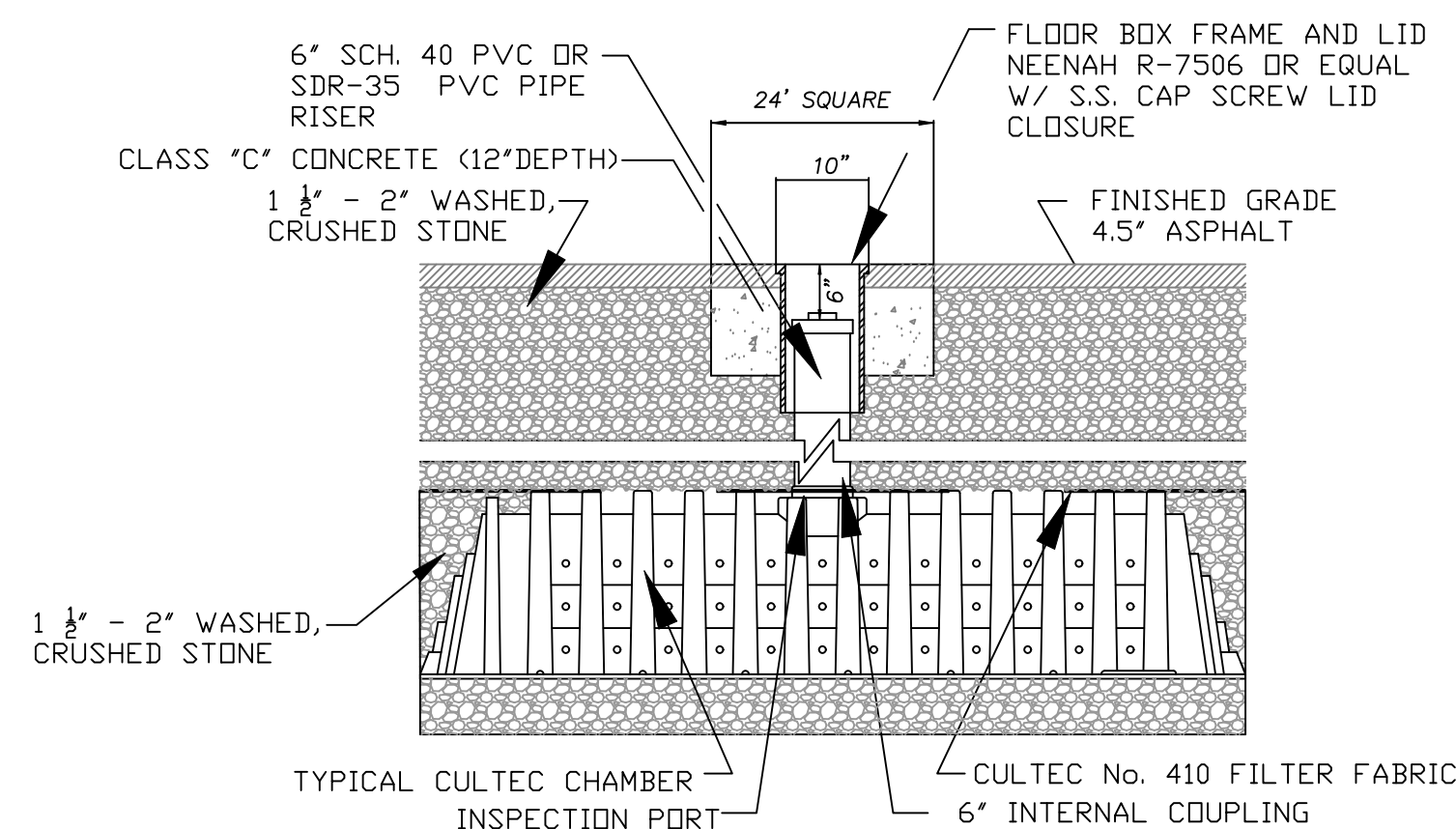
SUBSURFACE INFILTRATION SYSTEM - CROSS SECTION

(NOT TO SCALE)



TYPICAL CATCH BASIN DETAIL

(NOT TO SCALE)



TYPICAL H2O INSPECTION PORT DETAIL

N.T.S.

DRAINAGE NOTES: TOTAL IMPERVIOUS AREA:
EXISTING CONDITIONS: 16,723 S.F.
PROPOSED CONDITIONS: 17,576 S.F.
INCREASE: 853 S.F.

STORMWATER VOLUME COMPARISON: (DESIGN POINT 1)			
	2 YR STORM (AF)	10 YR STORM (AF)	100 YR STORM (AF)
EXISTING	0.047	0.08	0.135
PROPOSED	0.03	0.052	0.09

STORMWATER PEAK RATE OF RUNOFF COMPARISON: (DESIGN POINT 1)			
	2 YR STORM (CFS)	10 YR STORM (CFS)	100 YR STORM (CFS)
EXISTING	0.70	1.16	1.90
PROPOSED	0.45	0.76	1.28

STORMWATER VOLUME COMPARISON: (DESIGN POINT 2)			
	2 YR STORM (AF)	10 YR STORM (AF)	100 YR STORM (AF)
EXISTING	0.031	0.046	0.069
PROPOSED	0.018	0.032	0.055

STORMWATER PEAK RATE OF RUNOFF COMPARISON: (DESIGN POINT 2)			
	2 YR STORM (CFS)	10 YR STORM (CFS)	100 YR STORM (CFS)
EXISTING	0.41	0.60	0.89
PROPOSED	0.27	0.47	0.79

STORMWATER VOLUME COMPARISON: (DESIGN POINT 3)			
	2 YR STORM (AF)	10 YR STORM (AF)	100 YR STORM (AF)
EXISTING	0.013	0.021	0.034
PROPOSED	0.0	0.0	0.0

STORMWATER PEAK RATE OF RUNOFF COMPARISON: (DESIGN POINT 3)			
	2 YR STORM (CFS)	10 YR STORM (CFS)	100 YR STORM (CFS)
EXISTING	0.18	0.30	0.48
PROPOSED	0.0	0.0	0.0

GENERAL CONSTRUCTION NOTES:

- 1) DISTURBED SOILS SHOULD BE STABILIZED AS SOON AS POSSIBLE. ADEQUATE MEASURES SHOULD BE TAKEN TO PREVENT EROSION AND TO CONTAIN SEDIMENT ON SITE. EROSION CONTROLS SUCH AS SILT FENCING, HAYBALES, AND SWEEPING SHOULD BE USED AS NECESSARY.
- 2) THE CONTRACTOR SHALL COORDINATE INSPECTIONS OF THE RAIN GARDEN AND ROOF DRAIN WITH THE TOWN OF ARLINGTON ENGINEERING DEPT. PRIOR TO BACKFILL.
- 3) SITE GRADING AND DOWNSPOUT OVERFLOWS SHALL NOT DIRECT CONCENTRATED STORMWATER RUNOFF ONTO ADJUTING PROPERTIES.
- 4) A FIELD AS-BUILT OF THE DRAINAGE SYSTEM AND IMPERVIOUS AREAS (W/ DIMENSIONS) SHALL BE PROVIDED TO THE ARLINGTON ENGINEERING DEPT. FOLLOWING INSTALLATION.
- 5) ANY PROPOSED AND/OR FUTURE SUMP PUMP INSTALLATION SHOULD NOT BE DISCHARGED TOWARDS THE PUBLIC WAY OR CONNECTED TO THE ONSITE DRAINAGE SYSTEM.
- 6) FOOTING DRAIN OUTFALLS SHALL NOT BE DIRECTED TOWARDS ADJUTING PROPERTIES.
- 7) THE CONTRACTOR SHALL COORDINATE THE FOLLOWING INSPECTIONS OF THE RAIN GARDEN WITH THE TOWN OF ARLINGTON ENGINEERING DEPT. (A) THE BOTTOM OF EXCAVATION (B) SYSTEM INSPECTION AFTER INSTALLATION AND PRIOR TO BACKFILL

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY
JOHN D. SULLIVAN III, P.E., C.S.E.
ON 8/25/16

TEST PIT: TH-1
ELEV.=95.8'
MOTTLING @ NONE

0'-3" PAVEMENT
3'-8" FILL - COARSE SAND
8'-72" C-LAYER: LOAMY SAND 2.5 Y 6/4

NO MOTTLES, NO GROUNDWATER OBSERVED

SOILS INFORMATION:

TEST PIT WAS PERFORMED BY
JOHN D. SULLIVAN III, P.E., C.S.E.
ON 8/25/16

TEST PIT: TH-2
ELEV.=99.2'
MOTTLING @ NONE

0'-84" FILL
NO MOTTLES, NO GROUNDWATER OBSERVED

DRAINAGE DETAIL SHEET

OF

483 & 489 SUMMER STREET

IN

ARLINGTON, MA

PREPARED BY: P.J.F. AND ASSOCIATES
4 HIGHLAND AVENUE
WAKEFIELD, MA 01880
(781) 246-5426

REVISED: JUNE 26, 2017

REVISED: JUNE 6, 2017

DATE: NOVEMBER 18, 2016

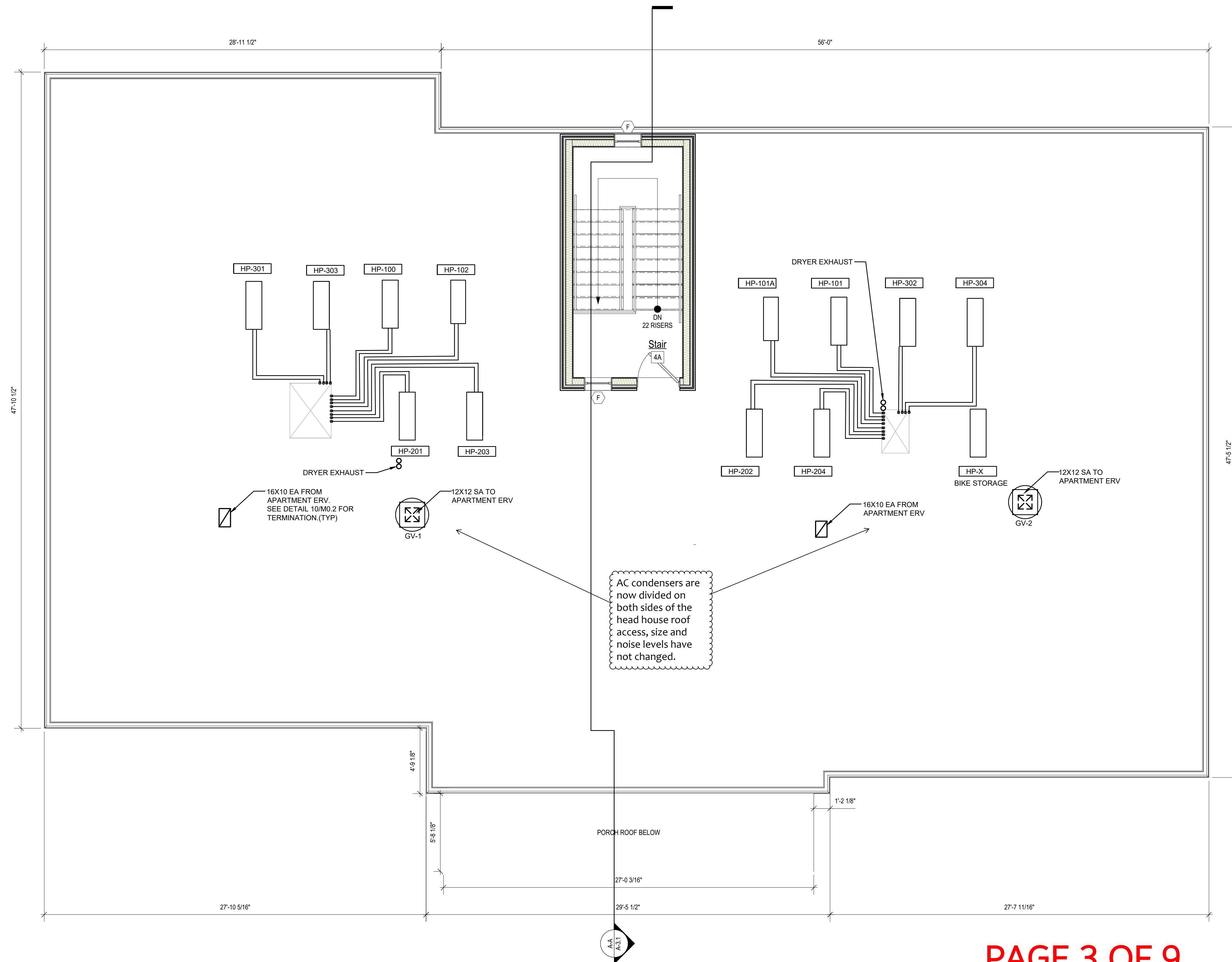
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FIELD	PLOT	DESIGN	DRAFT	CALC.	CHECK

PAGE 2 OF 9



Date: 3/7/18
File name: 1295 Campobasso 483 Summer St Arlington - DD - Permit Set.rvt





83 Summer Street
 Arlington, MA 02474

CLIENT:
Campobasso Properties, LLC.
90 Massachusetts Ave,
Arlington, MA 02474

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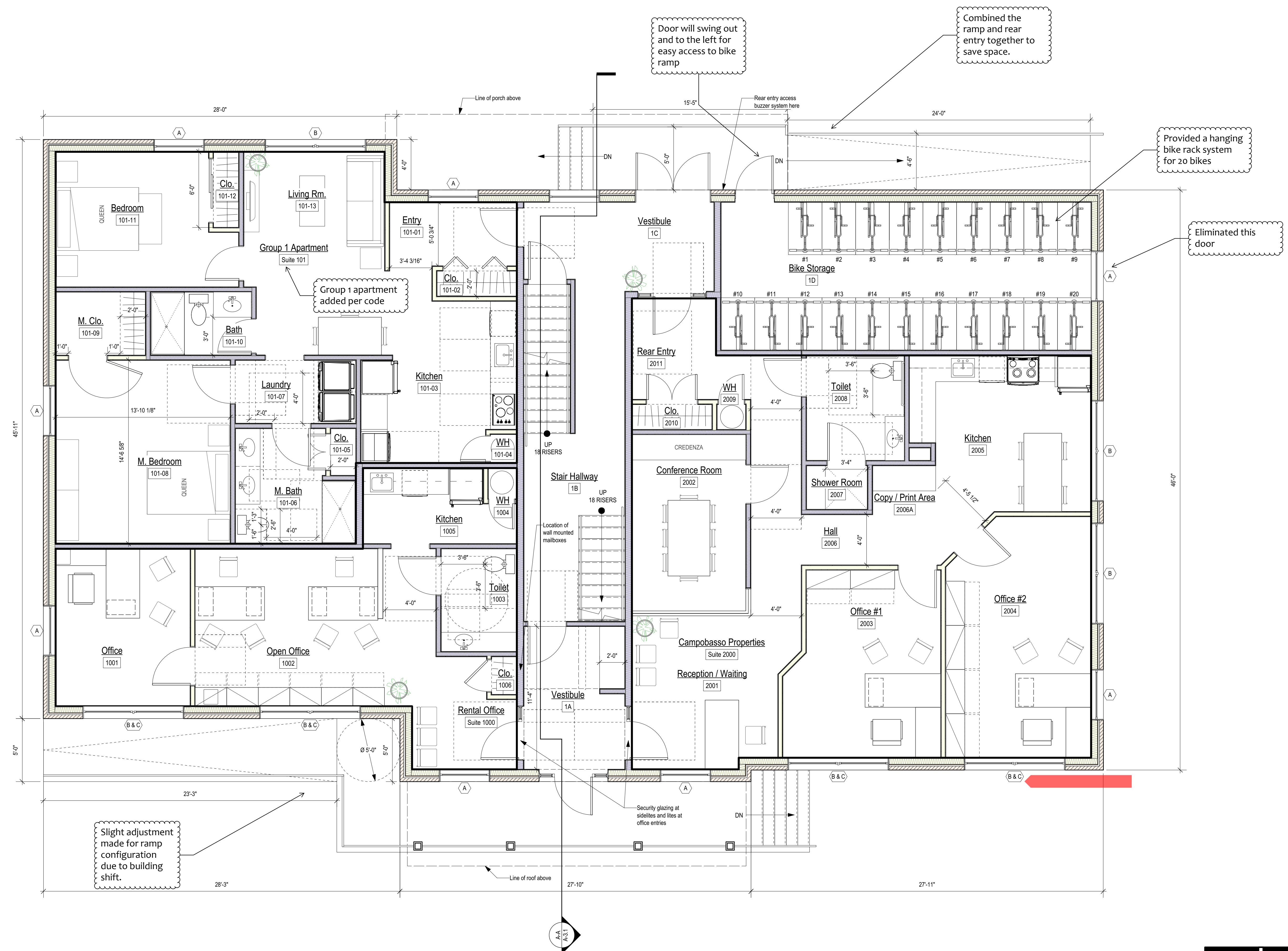
DATE OF ISSUE
March 05, 2018

AS NOTED ON ORIGINAL

FIRST FLOOR PLAN

A PROJECT # 1295

A-1.2



PAGE 4 OF 9

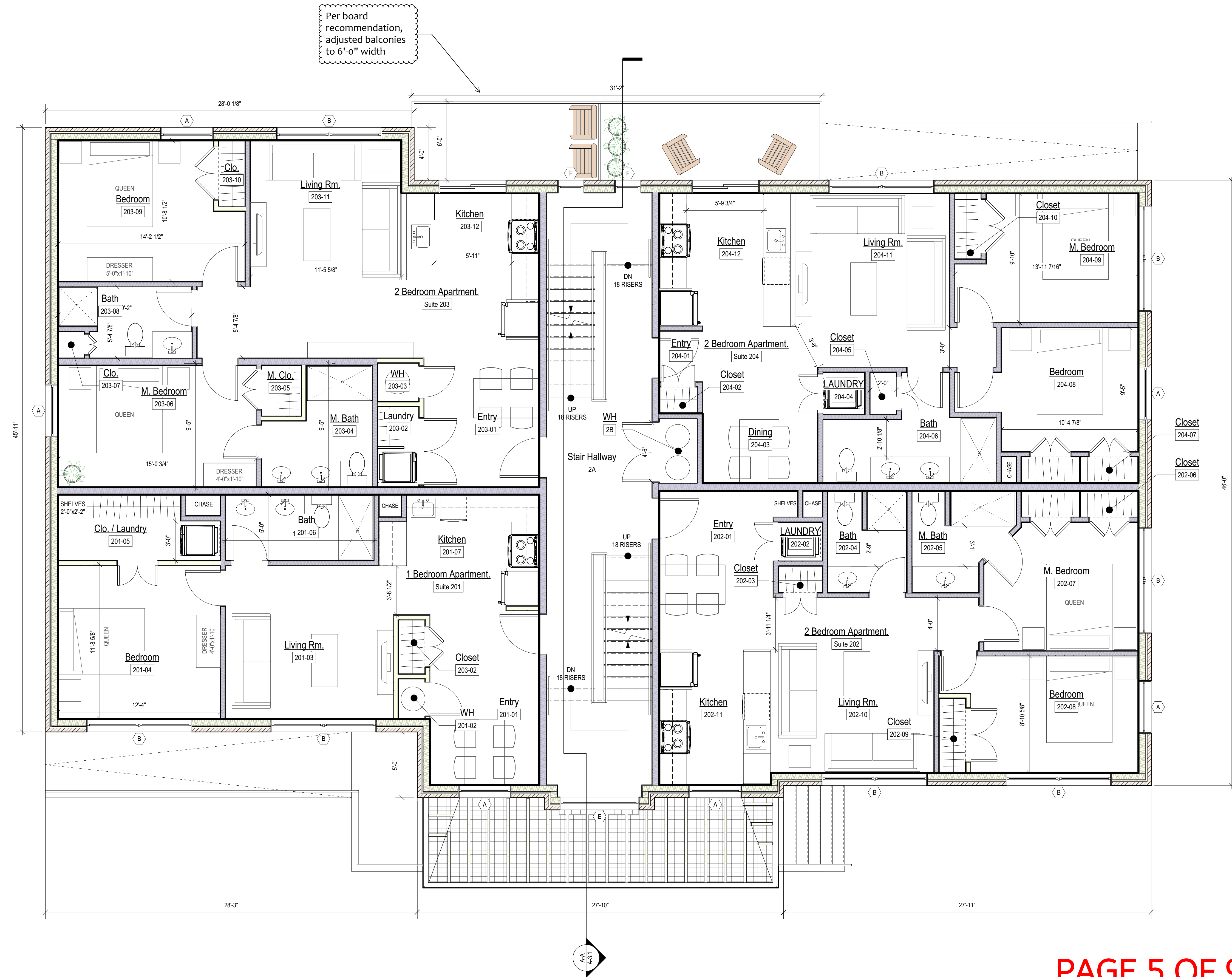
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TRUE
NORTH

|| CALLED
NORTH

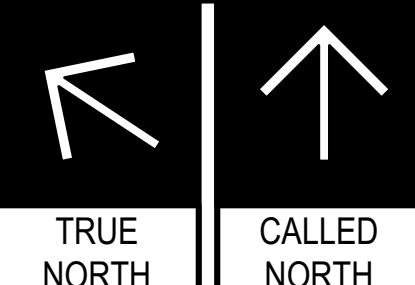
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A SECOND FLOOR PLAN

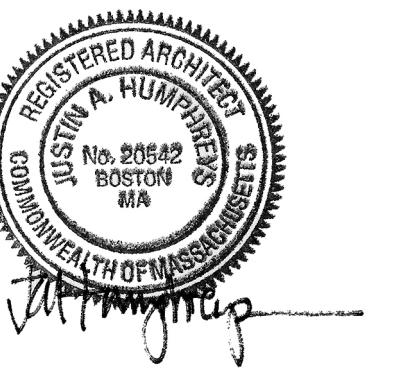


PAGE 5 OF 9

SCALE: 1/4" = 1'-0" ON ORIGINAL



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PLANNING
PROJECT MANAGEMENT
43 BRADFORD STREET
CONCORD, MA 01742
TEL (781) 893-5828 | www.tbaarchitects.com



Summer Street Suites
483 Summer Street
Arlington, MA 02474

CLIENT:
Campobasso Properties, LLC.
290 Massachusetts Ave,
Arlington, MA 02474

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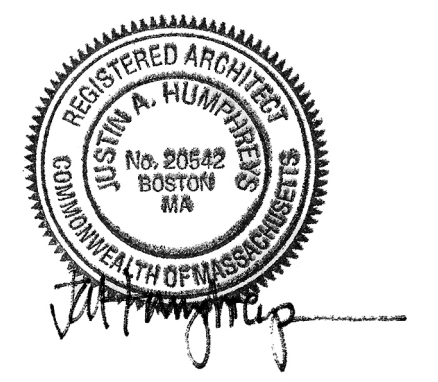
DATE OF ISSUE: March 05, 2018

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SECOND FLOOR PLAN

TBA PROJECT # 1295

A-1.3



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WEST ELEVATION
FACING SUMMER ST.

TBA PROJECT # 1295

A-2.1





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EAST ELEVATION

FACING PARKING
LOT

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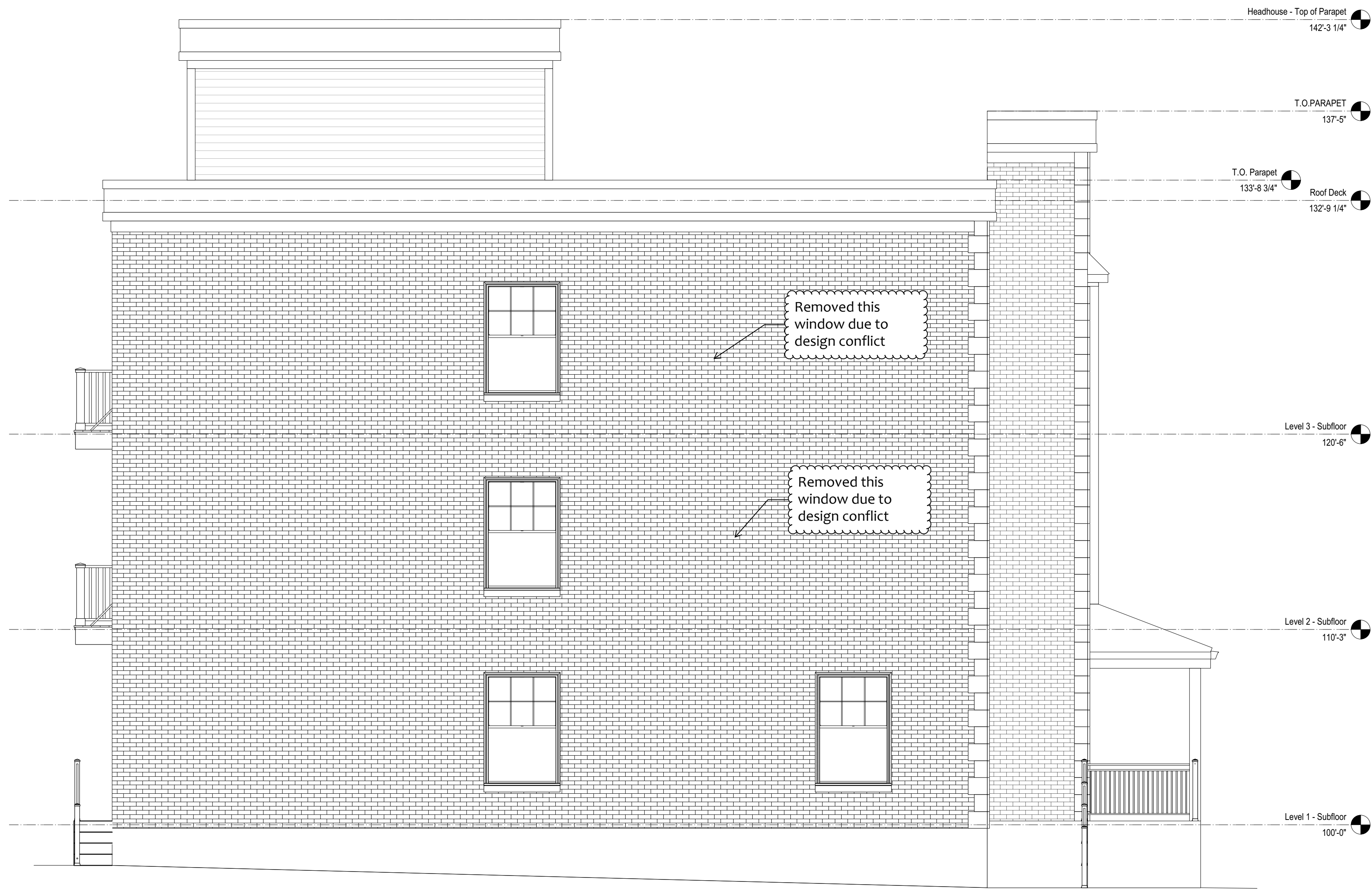
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Date: 3/7/18
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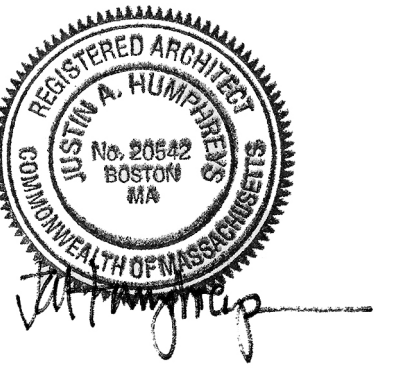


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SCALE: 1/4" = 1'-0" ON ORIGINAL



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NORTH ELEVATION

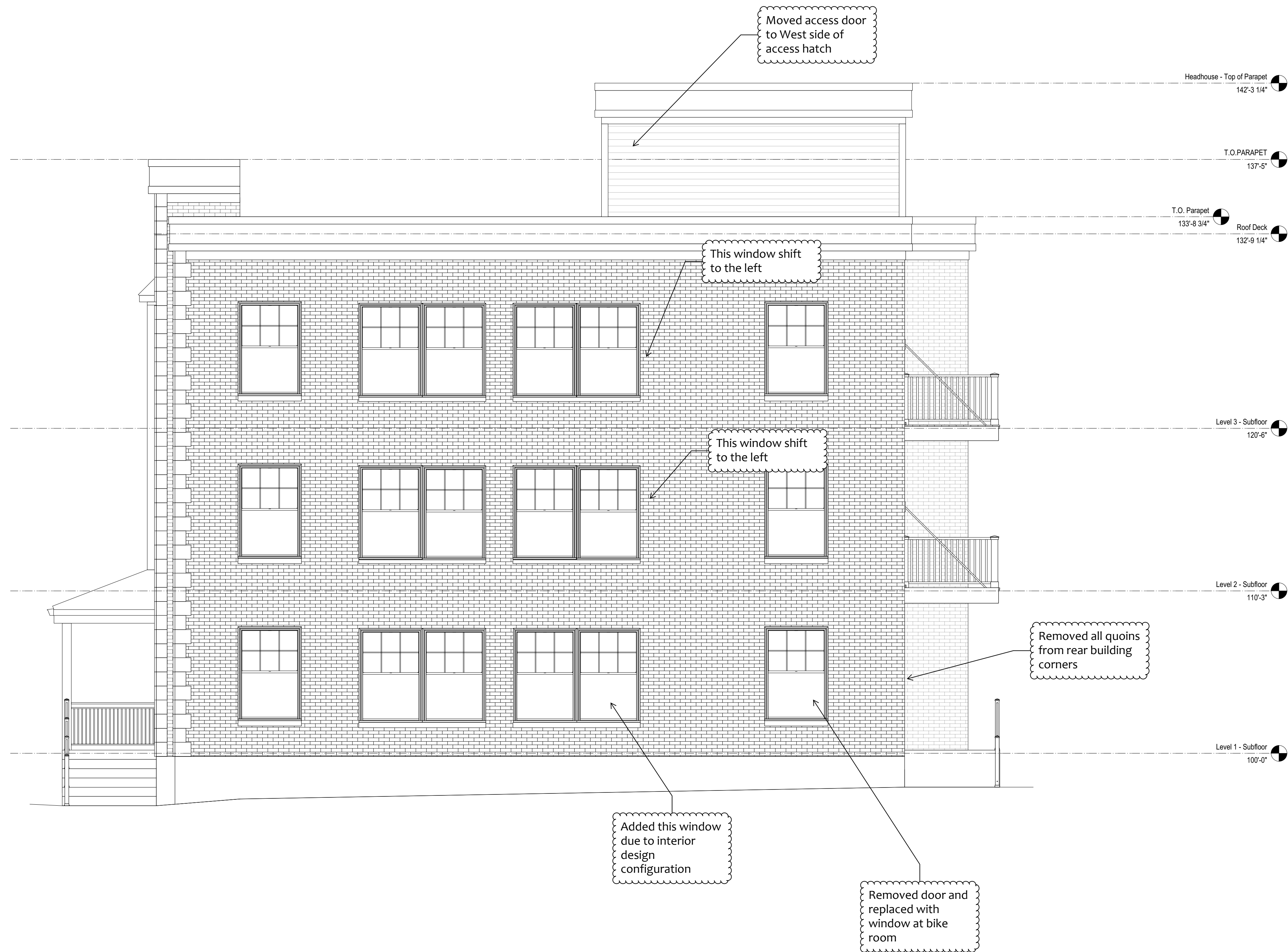
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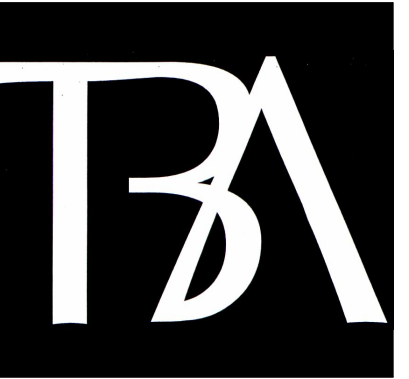
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SOUTH ELEVATION

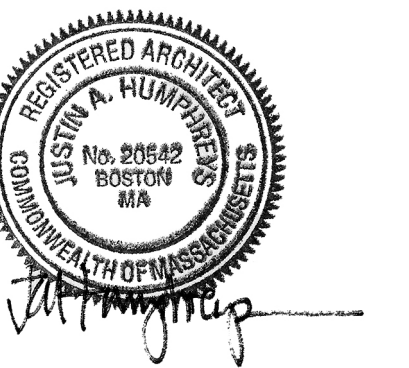


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SCALE: 1/4" = 1'-0" ON ORIGINAL



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SOUTH ELEVATION

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A-2.4